

FIRE DEPARTMENT NOTES

FIRE DEPARTMENT NOTES

SUBJECT: APN: 023-031; PERMIT # 05CUP-00040/05LUP-00820,08LUP-00000-00132
 SITE: ORANGE GROVE AVENUE, SANTA BARBARA
 1451 ORANGE GROVE (AKA: LOT 3)

THE ABOVE PROJECT IS LOCATED WITHIN THE JURISDICTION OF THE SANTA BARBARA COUNTY FIRE DEPARTMENT, TO COMPLY WITH THE ESTABLISHED STANDARDS, WE SUBMIT THE FOLLOWING WITH THE UNDERSTANDING THAT THE FIRE PROTECTION CERTIFICATE APPLICATION MAY INVOLVE MODIFICATIONS, WHICH MAY DETERMINE ADDITIONAL CONDITIONS.

PRIOR TO BEGINNING ANY WORK, THE FOLLOWING CONDITIONS MUST BE MET:

- OPERATIONS INVOLVING REMOVAL OF ASBESTOS OR ASBESTOS CONTAINING MATERIAL (ACM) SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE, SECTION 8707. OBTAIN A PERMIT FROM THE FIRE DEPARTMENT TO CONDUCT ASBESTOS OR ACM REMOVAL OPERATIONS. CONTACT THE INSPECTION SERVICES UNIT AT (805) 686-8181 FOR ADDITIONAL INFORMATION.

PRIOR TO ERECTION OF COMBUSTIBLE BUILDING MATERIALS, THE FOLLOWING CONDITIONS MUST BE MET:

- ALL ACCESS WAYS (PUBLIC OR PRIVATE) SHALL BE INSTALLED AND MADE SERVICEABLE. ROADWAY PLANS, ACCEPTABLE TO THE FIRE DEPARTMENT, SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY WORK BEING UNDERTAKEN.

THE WIDTH OF THE DRIVEWAY SERVING ALL 3 RESIDENCES SHALL BE A MINIMUM OF 20 FEET AND THE DRIVEWAY SHALL BE PAVED, AT NO TIME SHALL THE DRIVEWAY GRADE EXCEED 12 PERCENT. FIRE DEPARTMENT TURNAROUND DIMENSIONS SHALL BE DESIGNED INTO THE DRIVEWAY ENTRANCES OFF OF ORANGE GROVE AVENUE. ORANGE GROVE AVENUE SHALL BE WIDENED TO A MINIMUM WIDTH OF 24 FEET FROM TUNNEL ROAD TO THE SOUTHERN PROPERTY BOUNDARY OF PARCEL 023-031-013 AND IMPROVED WITH CONCRETE CURB AND GUTTER ON BOTH SIDES.

ORANGE GROVE AVENUE SHALL BE PAVED WITH ASPHALT AND NO PARKING WILL BE ALLOWED IN THE DESIGNATED ROADWAY. CURBS SHALL BE PAINTED RED AND "NO PARKING ANY TIME" SIGNS SHALL BE INSTALLED EVERY 150 FEET ON BOTH SIDES OF THE ROADWAY. A NEW ROAD SIGN SHALL BE INSTALLED AT THE INTERSECTION OF TUNNEL ROAD AND ORANGE GROVE AVENUE, PER COUNTY ROAD DEPARTMENT STANDARDS.

- SANTA BARBARA COUNTY FIRE DEPARTMENT HIGH FIRE HAZARD AREA REQUIREMENTS MUST BE MET.

PRIOR TO OCCUPANCY CLEARANCE THE FOLLOWING CONDITIONS MUST BE MET:

- THE FIRE DEPARTMENT SHALL DETERMINE AND ASSIGN ALL ADDRESS NUMBERS AND SHALL ISSUE SUCH NUMBERS TO PROPERTY OWNERS AND OCCUPANTS.
- BUILDING ADDRESS NUMBERS SHALL BE POSTED IN CONFORMANCE WITH FIRE DEPARTMENT STANDARDS.
- STOP WORK IMMEDIATELY AND CONTACT THE COUNTY FIRE DEPARTMENT, HAZARDOUS MATERIALS UNIT (HMU) AT 686-8170 IF VISUAL CONTAMINATION OR CHEMICAL ODORS ARE DETECTED WHILE IMPLEMENTING THE APPROVED WORK AT THIS SITE. RESUMPTION OF WORK REQUIRES APPROVAL OF THE HMU.
- WHEN ACCESS WAYS ARE GATED, A FIRE DEPARTMENT APPROVED LOCKING SYSTEM SHALL BE INSTALLED.
- PAYMENT OF DEVELOPMENT IMPACT FEES IS REQUIRED. THE FEES SHALL BE COMPUTED ON EACH NEW BUILDING, INCLUDING NON-HABITABLE SPACES.

FEES WILL BE CALCULATED AS FOLLOWS:
 MITIGATION FEE AT \$20 PER SQUARE FOOT

PLANS SUBMITTED FOR A FIRE PROTECTION CERTIFICATE MUST INDICATE THE FOLLOWING:

- HYDRANT LOCATION MUST BE SHOWN ON THE SITE MAP.
- ROAD EASEMENT LINES AND LOCATION OF PROPOSED ROAD IMPROVEMENTS MUST BE SHOWN ON THE SITE MAP.
- HAMMERHEAD TURNAROUND DIMENSIONS MUST BE INDICATED ON SITE MAP.
- PERCENT OF SLOP, DRIVEWAY LENGTH AND WIDTH MUST BE INDICATED ON SITE MAP.
- ROAD SIGN PLACEMENT MUST BE SHOWN ON SITE MAP.
- SHOW THAT STRUCTURES WILL BE BUILT TO HIGH FIRE HAZARD BUILDING DEPARTMENT STANDARDS.

THESE CONDITIONS APPLY TO THE PROJECT AS CURRENTLY DESCRIBED. FUTURE CHANGES, INCLUDING BUT NOT LIMITED TO FURTHER DIVISION, CHANGE OF OCCUPANCY, INTENSIFICATION OF USE, OR INCREASE IN HAZARD CLASSIFICATION, MAY REQUIRE ADDITIONAL MITIGATION TO COMPLY WITH APPLICABLE DEVELOPMENT STANDARDS IN EFFECT AT THE TIME OF CHANGE. AS ALWAYS, IF YOU HAVE ANY QUESTIONS OR REQUIRE FURTHER INFORMATION PLEASE CALL 681-5500.

MJ:REB

C: BURKE ADVISORS, INC., 4141 STATE ST., SUITE C4., SANTA BARBARA, CA 93110 APN/ CHRON

GENERAL NOTES

- ALL MATERIALS AND METHODS EMPLOYED TO CONSTRUCT THIS PROJECT SHALL CONFORM TO ALL LOCAL AND REGIONAL BUILDING CODES IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201, LATEST VERSION, SHALL BE PART OF THESE PLANS AND SPECIFICATIONS AS THOUGH SPECIFICALLY INCLUDED HEREIN.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL SAFETY LAWS ARE STRICTLY ENFORCED TO MAINTAIN A SAFE CONSTRUCTION PROJECT. GENERAL CONTRACTOR SHALL MAKE SURE THAT ALL SHORING AND BRACING IS INSTALLED AS NECESSARY TO PROTECT WORKERS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SUBTRADES AND COORDINATING ALL UNDERGROUND UTILITIES.
- GENERAL NOTES AND TYPICAL DETAILS SHALL APPLY TO ALL PARTS OF THE JOB EXCEPT WHERE THEY MAY CONFLICT WITH SPECIFIC NOTES AND DETAILS. WHERE CONDITIONS ARE NOT AS SHOWN ON THE PLANS CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- ALL CARPENTRY WORK SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF THE CALIFORNIA BUILDING CODE AND/OR UNIFORM BUILDING CODE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED ACCESS PANELS REQUIRED BY CODE FOR THE VARIOUS UTILITIES AND TRADES.
- THE CALIFORNIA ENERGY CONSERVATION STANDARDS FOR RESIDENTIAL CONSTRUCTION, CONTAINED IN TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS, HAVE BEEN REVIEWED AND THE BUILDINGS DESCRIBED HEREIN ARE IN SUBSTANTIAL CONFORMANCE WITH THOSE STANDARDS WHICH APPLY TO NEW CONSTRUCTION.
- A CERTIFICATE OF CONSTRUCTION COMPLIANCE, BASED ON OBSERVATION OF CONSTRUCTION, SHALL BE SIGNED AND TRANSMITTED TO THE INSPECTING BUILDING OFFICIAL BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR DIMENSIONS, GRADE, CONFIGURATION, AND OTHER ASPECTS OF COMPATIBILITY WITH THE WORK DESCRIBED IN THESE CONSTRUCTION DOCUMENTS. ANY CONDITIONS WHICH INTERFERE WITH THE WORK SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE WORK SHALL NOT PROCEED IN THE AREAS OF CONFLICT UNTIL SUCH CONFLICTS HAVE BEEN RESOLVED.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION.
- PRIOR TO COMMENCEMENT OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE LOCAL AGENCY.
- PRIOR TO COMMENCEMENT OF ANY CLEARING OR GRADING OPERATIONS, A GRADING PERMIT SHALL BE OBTAINED FROM THE LOCAL AGENCY.
- ALL-WEATHER SURFACE ACCESS ROADS SHALL BE INSTALLED PRIOR TO THE START OF FRAMING. ACCESS ROADS SHALL HAVE A MINIMUM WIDTH OF 20 FEET, BE MADE OF 4" CLASS II ROAD BASE COMPACTED TO 95%. ALLOW FIRE DEPARTMENT ACCESS TO WITHIN 150 FEET OF ANY PORTION OF ANY BUILDING, AND MAINTAIN 13-1/2 FEET OF OVERHEAD CLEARANCE.

I.B.R.C. POINT TALLY :

GOAL=TARGET 2, 30% BEYOND TITLE 24 + 12 POINT
A.1.1 TITLE 24 CALCULATIONS EXCEED STANDARDS BY 42.3 %
A.2.1 B. WALL INSULATION; MIN R-19
A.3.1 C. WALL INSULATION; WET BLOWN
A.4.1 D. ROOF INSULATION; R-30
T1.24 E. WINDOWS GLAZING ; U-VALUE =NFRC 0.80
T1.24 F. GAS FURNACE, AFUE = 90%
T1.24 G. AIR CONDITIONING SEER =13
T1.24 H. TANKLESS GAS WATER HEATER, EFR =0.34
A10.1 I. TWO TANKLESS WATER HEATERS ARE WITHIN 25' OF POINTS OF USE.
T1.24 J. THERMAL MASS =SLAB ON GRADE =1820 SQ FT
A10.1 K. ATTIC " WHOLE - HOUSE " VENT FAN ON THERMOSTAT. (2.75 CFM)
A.3.1 L. HVAC DUCTS ARE WITHIN THE BUILDING ENVELOPE.
A.7 M. BUILDING WASTE IS RECYCLED THROUGH MARBORG DISPOSAL.
A6.1 O. ALL PAINT TO BE LOW VOC AND WATER BASED PAINTS.
P. ALL LANDSCAPE IRRIGATION TO BE ON DRIP SYSTEM.
Q. DROUGHT TOLERANT PLANTS ARE USED THROUGHOUT.
A6.1 R. TOILETS ARE DUAL FLUSH TYPE.
A6.1 S. CABINETS ARE FORMALDEHYDE FREE

PREVIOUS APPROVALS:

A. 05LUP-00000-00821 :	LAND USE PERMIT
B. 05BAR-00000-00189 :	BOARD OF ARCH REVIEW
C. 05CUP-00000-00042 :	SEPTIC SYSTEM COND
	USE PERMIT
	GRADING PERMIT
D. 07GRD-00000-00078 :	
E. 05LUP-00000-0032	LAND USE PERMIT- REVISIONS
F. 05BAR-00000-00068	PLANNING COMMISSION APPROVAL

CODES

THIS PROJECT IS SUBJECT TO THE FOLLOWING BUILDING CODES AND REGULATION

- CALIFORNIA BUILDING CODE, 2007 EDITION
- CALIFORNIA PLUMBING CODE, 2007 EDITION
- CALIFORNIA MECHANICAL CODE, 2007 EDITION
- NATIONAL ELECTRICAL CODE, 2007 EDITION
- CALIFORNIA CODE OF REGULATION/TITLE 24
- AMERICANS WITH DISABILITIES ACT
- ALL ACCUMULATIVE SUPPLEMENTS TO THE ABOVE CODES
- ALL APPLICABLE STANDARD, ORDINANCES AND REGULATIONS OF THE AGENCIES WITH JURISDICTION OVER THE WORK
- STATE CODES AND COUNTY ORDINANCE # 4617

DESIGN PROFESSIONAL

ARCHITECT	BURKE ADVISORS, INC 4141 STATE STREET, SUITE C 4. 1 SANTA BARBARA CA 93110 PH: (805)-964-8800 FX: 805-293-8538
TITLE 24 ENGINEER CONSULTANTS, INC.	MECHANICAL ENGINEERING 621 W. MICHELTORENA ST., SUITE A SANTA BARBARA CA 93101 PH: (805) 957-4632
MECHANICAL ENGINEER CONSULTANTS, INC.	MECHANICAL ENGINEERING 621 W. MICHELTORENA ST., SUITE A SANTA BARBARA CA 93101 PH: (805) 957-4632
SOILS ENGINEER: LABORATORY OF SANTA	PACIFIC MATERIALS BARBARA, INC. SANTA BARBARA, LNC. 35-A SOUTH LA PATERA LANE P.O. BOX 96 GOLETA CA 93116 PH: 805-964-6901, FX: 805-964-623
ELECTRICAL ENGINEER: ENGINEERING	JMPE ELECTRICAL 156 W. ALAMAR, SUITE B SANTA BARBARA, CA 93105 PH: (805) 569-9216
STRUCTURAL ENGINEER:	MITCH PERKINS ENGINEERING. 226 EAST CANON PERDIDO SANTA BARBARA, CA 93101 805-568-0880
SURVEYOR	L.P. COOK & COMPANY, INC. 1029 STATE STREET SANTA BARBARA, CA 93101 PH: (805) 966-5105
CIVIL ENGINEER:	MAC DESIGN ASSOCIATES 1933 CLIFF DRIVE, SUITE 6 SANTA BARBARA CA 93109 PH: (805) 957-4748

SYMBOLS

①	GRID INDICATOR	△	SECTION NO.
01	KEYNOTE INDICATOR	△-A-B	SHEET NO., WHERE SECTION IS DRAWN
◊	WINDOW TAG	△-East	ELEVATION SIDE
○	DOOR TAG	△-A-7	SHEET NO., WHERE ELEVATION IS DRAWN

PROJECT STATISTICS

LAND USE ZONE RQMTS 1-E-1

- 20' FRONT YARD SETBACK
- 10' SIDE YARD SETBACK
- 25' REAR YARD SETBACK
- 35' HEIGHT LIMIT
- (NO ROOMS) FLOOR AREA RATIO
- 16% AVERAGE SLOPE

HIGH FIRE HAZARD ZONE: YES *(THIS PROJECT IS IN STATE RESPONSIBILITY AREA. ALL WORK TO CONFORM TO CBC 07, CHAPTER 7A-HIGH FIRE)*

FLOOD ZONE: NO

REQUIRED PARKING

- 0 COVERED SPACES
- 2 UNCOVERED SPACES
- 0 HANDICAP SPACES
- 0 LOADING SPACES
- 0 COMPACT PARKING SPACES

BLDG TYPE (BLDG CODE) TYPE 5 - NON-RATED PER C.B.C.

OCCUPANCY TYPE GROUP R, DIV 3 PER C.B.C.

GROSS SITE AREA 8,932 SQ FT (TO CTR LINE OF STREET)

NET SITE AREA 7,917 SQ FT

SITE COVERAGE

BUILDING(S) FOOTPRINT 2427 SF = [27% GROSS] OR [30.6% NET]

HARDSCAPE 1,162 SF = [13% GROSS] OR [15% NET]

TOTAL IMPERMEABLE 3,589 SF = [40% GROSS] OR [45% NET]

LANDSCAPE 4,328 SF = [60% GROSS] OR [55% NET]

GRADING

CUT 0 CUBIC YARDS *GRADING COMPLETED*

FILL 0 CUBIC YARDS *UNDER GRADING PERMITS 07680-00000-00078*

EXISTING - VACANT LOT

PROPOSED NEW CONSTRUCTION

ATTACHED/DETACHED	TYPE	SQ. FT.
NEW STRUCT DETACHED	SINGLE-FAMILY 2 BEDRM.	1797 SQ. FT.
	TOTAL MAIN BUILDING AREA:	1797 SQ. FT.

GRAGE/CARPORT

NEW STRUCTURE ATTACHED	CARAGE/LAUNDRY CARPORT	4325 SQ. FT.
	TOTAL LIVING AREA:	1797 SQ. FT.

RESIDENTIAL TOTAL FLOOR AREA = 2427 SQ. FT.

PROJECT DESCRIPTION

CONSTRUCT A NEW SINGLE FAMILY HOME CONSISTING OF 1797 SQ FT OF LIVING AREA, 4325 SQ FT GARAGE AND LAUNDRY ROOM. THE HOUSE INCLUDES TWO BEDROOMS AND TWO BATHROOMS AND IS A SPLIT LEVEL DESIGN.

CONSTRUCT SITE RETAINING WALLS AND DRAINAGE STRUCTURES.

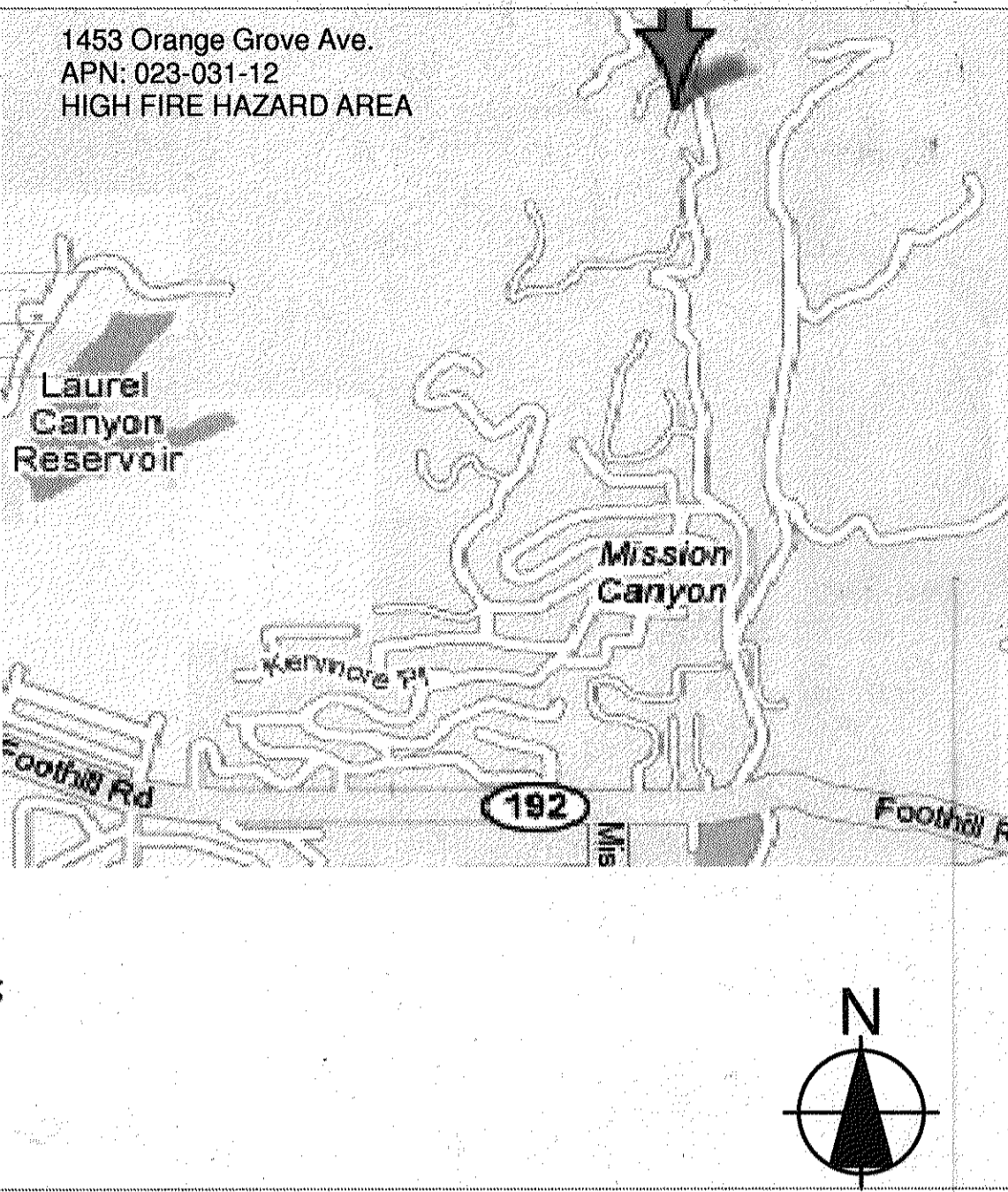
LANDSCAPE & IRRIGATION, SECOND PARKING SPACE IS A 200 SQ FT CARPORT.

SPECIAL INSPECTIONS

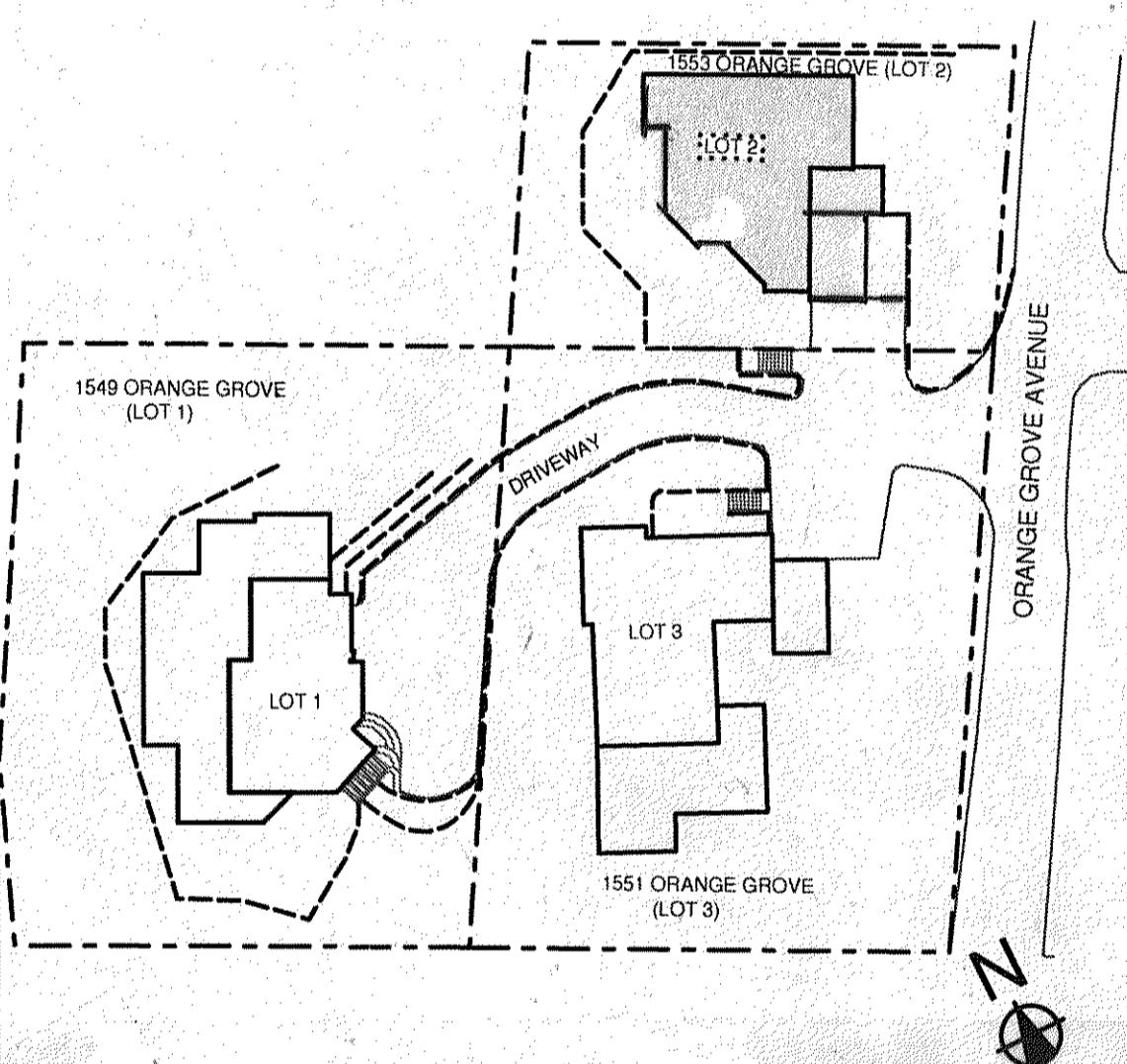
SPECIAL INSPECTIONS WILL BE REQUIRED FOR THE FOLLOWING WORK: PER CBC 1701

- REFER TO THE SOILS RPT BY PACIFIC MATERIALS LABORATORY FOR INSPECTIONS REQUIRED FOR ROUGH GRADING, COMPACTION TESTING, FOOTING AND REBAR PLACEMENT INSPECTION AND CONCRETE TESTING AND INSPECTIONS.
- REFER TO CALIFORNIA BUILDING CODE (C.B.C.) 2007 EDITION, SECTION 108.1 AND SECTION 1701 SPECIAL INSPECTIONS. SPECIAL INSPECTION INCLUDE, BUT ARE NOT LIMITED:
- POURED IN PLACE CONCRETE WITH COMPRESSIVE STRENGTH GREATER THAN 2,500 PSI.
- ALL CONCRETE OR GROUT SAMPLES SHALL BE TAKEN BY A SPECIAL INSPECTOR.
- DRILLED-IN EXPANSION ANCHORS OR EPOXY SET ANCHOR BOLTS.
- FIELD STRUCTURAL WELDING
- STRUCTURAL MASONRY, REBAR PLACEMENT AND GROUT PLACEMENT
- OTHER SPECIAL INSPECTIONS LISTED ELSEWHERE IN THESE PLANS.
- WHEN REQUIRED BY A PRODUCT LISTING OR EVALUATION REPORT
- WHEN RATED BY THE BUILDING OFFICIAL DUE TO WORK WHICH INVOLVES UNUSUAL HAZARDS OR CONDITIONS

VICINITY MAP



KEY PLAN



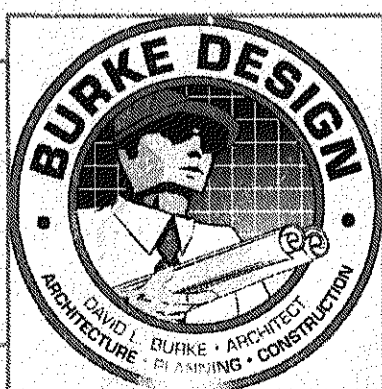
DRAWING INDEX

Cover	Statistics and Notes
A-1.0	Master Site Plan
A-2.0	Roof Plan & Site Plan
G-1.0, 2, 3, 30	General Notes & FIRE DEPT COND.
A-6.1	Floor Plan
A-6.2	Structural Notes
A-6.3	Structural Framing Details
A-6.4	Structural Retaining Wall Details
A-6.5	Structural Foundation Details
A-6.6	Structural Roof Framing Plan
A-6.7	Roof Framing Details
A-7.0	Exterior Elevations
A-8.1	Sections
A-8.2	Sections
E-1.0	Electrical Floor Plan
E-1.1	Electrical Single Line Diag & Sched.
M-1.0	Mechanical Plan
T1-24	Title 24 Energy Report
D-1.0	Window & Door Details
D-2.0	Roof Details
L-1.0	Site Lighting Plan
CH	Color and Material Chart
SEPTIC P1.1	SEPTIC PERMITS SEPTIC DETAILS

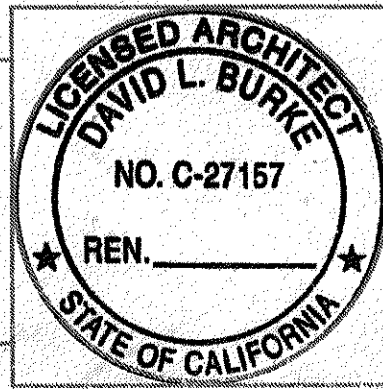
Owner
 Owner's Name: Paul & Claudia Cook & Mary Burke
 Address: 1029 State Street Santa Barbara CA 93101
 Phone: (805) 966-5105
 Fax: (805) 966-5174

Revisions	Sheet Info
	Job No 2007-002-02
	Issue Date 04-07-08
	Drawn By DLBurke
	Drawing File Ref

Copyright and Indemnity: Burke Design expressly reserves their common law copyright, and other property rights. In these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever nor are they to be assigned to a third party without first obtaining the express written consent of Burke Design. In the event of unauthorized reuse of these plans by a third party said third party shall indemnify and defend Burke Design and hold Burke Design harmless from all damages that may result from unauthorized re-use of these plans.



Burke Design
 4141 State Street, Suite C 4.1
 Santa Barbara CA 93110
 Phone: 805-964-8800
 Fax: 805-293-8538



COVER SHEET

Sheet No: **COVER**

11-4-08